

STATEMENT OF HERITAGE IMPACT



No. 3 Ayr Street, Ashbury

November 2022

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1.0 Introduction

This report has been prepared on behalf of the property owners to assess the potential heritage impacts and to accompany the Development Application for the proposed alterations and additions to No. 3 Ayr Street, Ashbury (the site).

2.0 Background & heritage listing status

The site is located on the northern side of Ayr Street, which extends between Roslyn and Lasswade Streets. Ayr Street is a wide, two-way street with grassed verges, street trees and car parking each side.

The built context comprises of one and two storey detached dwellings largely dating from the early 20th century. Most of the dwellings have undergone some modifications, alterations and additions. A late 20th century replacement dwelling is also located to the immediate east of the site. The dwellings at the north eastern end of the street also have rear access from a lane extending from Lasswade Street. A small green reserve is located opposite the rear of the site, on the northern corner of the lane and Lasswade Street.

No. 3 Ayr Street is a single storey, face brick, Inter-war period dwelling with gabled and hipped main roof clad in terracotta tiles. The rear wing has skillion roofed sections clad in metal sheeting. The building is setback from the street frontage which has a small garden area. A gate and roller door, carport and a lightweight, FC clad garage and store have been constructed in the deeper side setback along the western side and at the rear of the house. A carport has also been constructed at the rear and is accessed from the rear lane.

The dwelling has previously undergone some external and internal modifications, alterations and rear additions. It is currently proposed to retain the existing dwelling on the site, undertake internal alterations and construct single storey, contemporary additions to the side and rear with a new garage accessed from the rear lane.

No. 3 Ayr Street has not been listed on the State Heritage Register or classified by the National Trust of Australia (NSW). The site has not been listed as a local heritage item under Schedule 5 of the Canterbury Local Environmental Plan (LEP) 2012, however, is located in the Ashbury Heritage Conservation Area (C1). There are no items in the vicinity of the site.

As such, Canterbury Bankstown Council must take into consideration the potential heritage impacts of any proposed works on the character and significance of the conservation area, Ayr and Lasswade Street streetscapes and overall setting.

This assessment is based on inspection of the site and review of the context. The report follows a standard format, in accordance with the guidelines provided by Heritage NSW and includes site specific information, description of the existing building and its contribution to the area. The proposed works have been assessed with reference to Canterbury LEP 2012, Development Control Plan (DCP) and standard criteria. The purpose of the report is to outline how any potential heritage impacts may be reduced or are mitigated.

3.0 Historical overview

Prior to European occupation the area was occupied by the Darug and Eora people.¹

¹ Canterbury Bankstown Council website.

The site was part of 260 acres originally granted to Richard Johnson in October 1799. The Reverend Richard Johnson was the colony's first chaplain. It is not clear if Johnson used the land in any way, however, in 1848 the 260 acres were transferred to members of the Campbell family, Arthur Jeffreys and James Norton.²

Robert Campbell had settled in Sydney in 1798 and established Australia's first commercial trading business (Campbell & Co) on the western shores of Sydney Cove. He purchased a number of early grants in the Canterbury area from 1803 and also received other grants on this basis. Campbell did not live on his estate which he named "Canterbury Farm", but used it to graze his stock (cattle, sheep and some horses). In 1846, the Canterbury Estate was inherited by his eldest daughter, Sophia Ives Campbell, and Arthur Jeffreys, the husband of his youngest daughter Sarah.³

In 1873 the site was part of 255 acres transferred to Arthur Frederick Jeffreys, who resided in London. Land title documents indicate that parts were sold and leased to various tenants.⁴ In 1906 just over 181 acres were transferred to Amy Constanina Jeffreys, widow, John James Jeffreys and George Darell Jeffreys. The land was transferred to George Darell Jeffreys in 1907 who retained ownership until 1916 when the subject site was part of just over 69 acres transferred to Elizabeth Mary Goodlet, Alexander Copeland, Alfred Ingram McFarlan and William Allen as joint tenants.⁵

The group consolidated over 97 acres (**Figure 3.1**) by 1921. The subject site was part of a 1922 subdivision of part that comprised of residential lots addressing Melville, Lasswade, Ayr and Kelvin Streets and was bounded by Ettrick Street.⁶

In a transfer dated 28 July 1924, the subject site, Lot 47 of DP 11641 (**Figure 3.2**) was sold to George James Lindfield, a builder from Ashfield. The lot had 44 feet frontage to Ayr Street and like the neighbouring lots, extended back to a 20 feet wide drainage reserve extending from Lasswade Street.

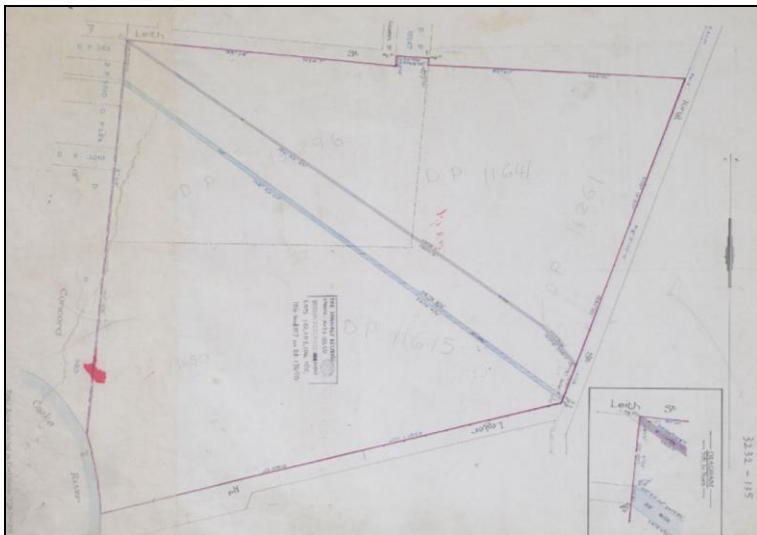


Figure 3.1 The land acquired by Goodlet, Copeland, McFarlan and Allen.

(NSW Land Registry Services, CT Volume 3232 Folio 37)

² NSW Land Registry Services, DP 11261 & Primary Application No. 4533.

³ NSW Land Registry Services, Primary Application No. 3100, Paul Davies Pty Ltd, *Stage 1 Report, Hurlstone Park Heritage Assessment Study* (Sept 2016), p. 13 & 17.

⁴ NSW Land Registry Services, Primary Application No. 4533.

⁵ NSW Land Registry Services, Certificates of Title, Volume 382 Folio 137, Volume 1035 Folio 241, Volume 1053 Folio 57, Volume 2656 Folio 209 & Volume 2686 Folio 226.

⁶ NSW Land Registry Services, DP 11641.

The sale was subject to a covenant that required that a single dwelling be constructed on the site of no less value than £500 and be constructed in brick or stone or a combination of both with a slate or tiled roof.⁷

It is assumed that the subject house was constructed, possibly by Lindfield, on the site from this time probably in 1926 and by 1930.

Ayr Street is first listed in the *Sands Directory* in 1926 when there are only three listings in the street. The *Sands* indicates that there was a significant amount of building activity during 1926. In 1927 there are nine listings on the western side and four listings on the eastern side of the street. There is no Lindfield listed, however, in 1930, when street numbering is included, Edward Lawder is listed occupying No. 3.

The 1943 aerial photograph (**Figure 3.3**) shows what is assumed to be the early form of the house and siting. The main gabled and hipped roof form is evident with a separate roof at the front and a skillion roof at the rear of the building. The front has two gables facing the street and a lower (assumed verandah) roof. A chimney is visible on the eastern roof slope. The building is setback from the street frontage and has a deeper setback along the western side. The rear yard is divided into two sections which appear to have perimeter plantings and a structure is constructed to the rear boundary, along the lane/ drainage reserve which extends to Roslyn Street.

The aerial also shows the context. The front of the house is aligned with the neighbouring dwellings which vary in width but have similar form and details. A triangular shaped lot to the immediate north of the site, remains undeveloped.

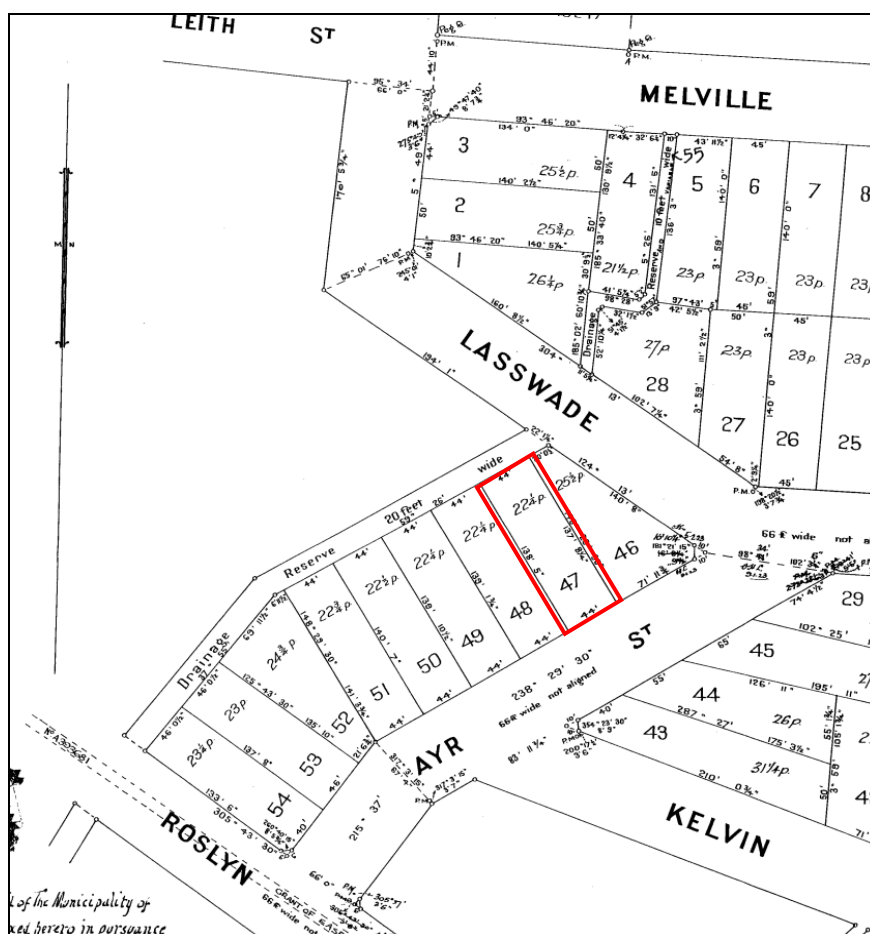
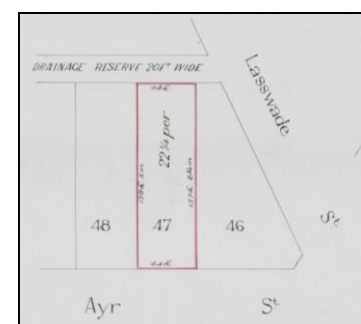


Figure 3.2 The 1922 subdivision of part of the land consolidated and subdivided by Goodlet, Copeland, McFarlan and Allen.

The subject site Lot 47.

(NSW Land Registry Services, DP 11641, CT Volume 3631 Folio 93)



⁷ NSW Land Registry Services, Certificates of Title, Volume 3232 Folio 135 & Volume 3631 Folio 93.



Figure 3.3 1943 aerial showing the site and context.

(SIX Maps)



Ownership was transferred again in 1961 and recently 2003 and 2021.⁸ A relatively recent aerial (**Figure 3.4**) shows that some alterations and additions have been undertaken to the rear of the dwelling since 1943, probably following the change of ownership in the late 20th century. The main roof form and front verandah remain clear. However, the rear wing has been extended. Other roof sections (existing carport, garage and awnings) which generally extend across the site and rear yard have been added. The rear structure has also been replaced by the existing carport and shed. Paving also appears to have been added to the rear yard.

The aerial also shows a number of changes to the surrounding dwellings and area. Similar alterations and larger additions and upper storeys have been added to the neighbouring dwellings. The dwelling to the immediate east has been replaced with a larger two storey dwelling. A park has also been created on the vacant land to the north and the rear lane no longer extends to Roslyn Street.



Figure 3.4 Recent aerial showing changes to the rear of the building and site and also indicating a number of changes to the surrounding built context and rear lane.

(SIX Maps)



⁸ NSW Land Registry Services, Certificate of Title, Volume 3631 Folio 93 & realestate.com.au.
Perumal Murphy Alessi, Heritage Consultants • PM-22054

4.0 The site context

The subject site is located on the northern side of Ayr Street, close to the junction with Lasswade Street. Ayr Street is a wide, two-way street with grassed verges, car parking, street trees and plantings along both sides.

The built context comprises of one and two storey detached dwellings predominantly dating from the early 20th century (Inter-war period). A large, late 20th century replacement dwelling is located to the immediate east of the site. Most of the dwellings in this section of the street have undergone some visible modifications, alterations and additions including painting and renewal of building facades and roofs, replacement of fences and alterations for car accommodation. One also has an upper storey addition.

To the east of the site, No. 1 Ayr Street, is a two storey, face brick late 20th century dwelling with gabled and hipped roofs clad in tiles. The building occupies an irregular, wedged shaped, corner site and extends across the wide street frontage. The front façade has open front verandah and a balcony and an attached double garage located at the western end, close to the shared boundary with the site and street frontage. A brick fence with brick piers and metal palisades bounds the front setback and returns along the Lasswade Street frontage. The building dominates and is a visible element of the wide intersection of Ayr and Lasswade Streets. A high brick fence and a single, gable roofed garage are located along the Lasswade Street frontage. The garage and a high fence also extend along the rear lane.

The rear lane is relatively narrow and is characterised by high walls, fences and garages serving properties at the eastern end of Ayr and Crieff Streets. The lane also partially bounds a small park, the James Folster Reserve, located opposite the rear of the site.

To the west of the site, No. 5 Ayr Street, is a single storey face and bagged brick, Inter-war period dwelling with gabled main roof clad in tiles. The building retains two street facing gables with timber battened sheeting and shingles to the gable ends. A window also appears to have been added to the larger gable end. The front of the building has a projecting bay with timber framed windows and an open verandah with a separate flat roof supported on decorative timber posts and brackets on a brick base. The building is also setback but sited close to the street frontage which has a low, modern timber picket fence and lych gate. The building has a deep setback from western side boundary. Paving extends along the western side of the house which has additions also extending out into the deeper setback. A garage is located at the rear of the site and is accessed from the rear lane.

No. 7 Ayr Street is a rendered and modified, two storey with attic dwelling with gabled roof clad in terracotta tiles. The building retains a projecting bay, open verandah and two street facing gables with timber battened and shingle details to the gable ends. The upper storeys have been accommodated within a steep pitched gable roofed addition. The building is setback from the street frontage which has a rendered fence with rendered piers and pipe steel rail. A parapeted, single storey garage with a roller door has been added to the deeper setback and western side of the house.

Further west, Nos. 9, 11, 11A and 15 are single storey, modified, painted and rendered Inter-war period dwellings that retain gabled main roofs clad in tiles. No. 17, on the corner of Roslyn Street is a two storey, rendered contemporary, early 21st century dwelling.

Opposite the site, Nos. 2, 4, 6 and 8 Ayr Street are single storey, face and painted brick Inter-war and Post-war period dwellings with gabled and hipped roofs clad in terracotta tiles. The buildings have also undergone some modifications, however, also retain period character and details including open front verandahs and timber details to the front gabled ends. Due to the angle of the street the buildings are staggered and have varying setbacks with varying front fence treatments and front garden settings.



Figure 4.1 The site is located at the eastern end of Ayr Street which is a wide, two-way street with grassed verges, car parking, street trees and plantings along both sides.



Figure 4.2 To the immediate east of the site, on the northern corner of Ayr and Lasswade Streets, No. 1 Ayr Street is a two storey, face brick late 20th century period dwelling.

The house extends across the street frontage and has an attached garage close to the shared boundary with the site (at left).



Figure 4.3 No. 1 is a visually prominent element on the corner. The fence and hedge returns along the Lasswade Street frontage.



Figure 4.4 A high fence and garage extend along the Lasswade Street frontage of No 1 to the rear lane.



Figure 4.5 The lane (drainage easement) extending from Lasswade Street. A small park, reserve is located along the lane which is largely characterised by high walls, fences and garages.



Figure 4.6 View of the rear of the site and neighbours from Lasswade Street/ James Folster Reserve.



Figure 4.7 James Folster Reserve and rear of the neighbouring properties addressing Crieff Street.



Figure 4.8 View looking along the rear lane.



Figure 4.9 Dwellings to the immediate west of the site.



Figure 4.10 No. 5 Ayr Street is a single storey, face brick and bagged Inter-war dwelling. The house retains the two street facing gables and an open front verandah. A large addition that extends into the western side setback has been constructed at the rear.



Figure 4.11 Nos. 7 and 9 Ayr Street which are modified Inter-war period dwellings.



Figure 4.12 No. 7 has been rendered with upper level and attic added and accommodated within the steep pitched gabled roof. A garage has also been added in the western side setback.



Figure 4.13 Modified dwellings located further west along Ayr Street.



Figure 4.14 Post-war and Inter-war dwellings (Nos. 4, 6 and 8) located opposite the site.

5.0 No. 3 Ayr Street

No. 3 Ayr Street is a single storey, face and common brick, Inter-war period dwelling with gabled and hipped main roof clad in terracotta tiles, painted brick chimney, timber and aluminium framed windows and timber doors.

The front facade has a rendered base, projecting bay with timber framed windows and two street facing gables with timber battened and shingled details to the gable ends. The front façade also has an infilled verandah with contrasting brick details and a brick post supporting a flat roof clad in corrugated steel.

The dwelling is located close to, but is setback from the street frontage which has modern steel palisade fence on a brick base. A gate at the eastern end opens onto a path that extends along the narrower, eastern side setback to the building entry which is located on the eastern side of the dwelling. A lightweight awning, porch and fence have been added adjacent to the entry door.

A deeper setback extends along the western side boundary. A concrete driveway extends from a crossover and street frontage along the western side of the dwelling and west boundary which has high plantings. A gate and a modern roller door have been added across the driveway.

The house has a brick rear wing and addition with skillion roof clad in metal sheeting. A modern steel awning has also been added at the rear and accesses a detached carport, garage and laundry which have been constructed in the deeper western setback at the rear of the house.

The garage incorporates a laundry and is a simple and narrow timber framed structure constructed on a concrete slab with modern roller door, FC clad walls, gabled and skillion roofs clad in corrugated steel. The carport and awning have flat roofs supported on simple steel posts.

A steel framed enclosure and paving also extend from the rear of the house. The rear yard also has an open grassed area and perimeter garden trees and planting. A modern steel framed carport on a concrete slab is constructed to the rear boundary. A high Colorbond fence and roller door face the rear lane.

The interior retains a typical layout with front, main rooms and a small bathroom arranged about a kinked hall extending from the side entry. The hall leads into a dining room and rear wing and extension which contain a kitchen, open plan living area and a study. The interior has timber and concrete floors, rendered and lightweight walls, decorative plaster and plasterboard ceilings and cornices and retains a mix of timber joinery, some picture rails, skirtings and architraves. A narrow, splayed fireplace breast remains in the dining room, however, the fireplace has been sheeted over. The bathroom and kitchen have been typically modified and upgraded. The rear wing and addition are also simply finished.



Figure 5.1 No. 3 Ayr Street in context. A street tree is also located in front of the site.



Figure 5.2 The building is setback from the street frontage which has a modern fence and hedge.



Figure 5.3 A deep setback extends along the western side of the building and western side boundary.

The front façade has a rendered base and two street facing gables with timber battened and shingles details to the gable end.



Figure 5.4 The front façade has timber windows, which appear to have been altered, and aluminium framed windows added later to infill the verandah which has a modified, flat roof clad in metal sheeting. Some infill is visible in rendered base and brickwork at the front and the brick post also appears to have been added.



Figure 5.5 The eastern setback, pedestrian path and building entry. A timber framed, lightweight awning, fencing and step have been added.





Figure 5.6 The eastern facade and setback. Some modifications and replacement of windows are evident.



Figure 5.7 The deeper western setback and existing driveway and boundary garden bed.

A gate and roller door have been added across the driveway near the front of the house.



Figure 5.8 The south western façade.



Figure 5.9 The western elevation. The window openings have generally been modified and windows have been replaced.



Figure 5.10 The rear of the building and lightweight awnings and elements.



Figure 5.11 The rear wing has been extended and modified and has varying brick and lightweight walls and infill and aluminium framed windows. The brick and later infill indicates at least two additions.





Figure 5.12 A carport and garage have been added to the western side setback (post 1943).



Figure 5.13 The garage is constructed on a concrete slab and is a simple timber framed structure clad in FC sheeting with gabled roof clad in metal sheeting.



Figure 5.14 A skillion roofed laundry also appears to have been added to the garage.



Figure 5.15 The garage and laundry which is located close to the western side boundary.



Figure 5.16 The rear yard. Modern brick paving and a simple carport on a concrete slab have been added to the rear yard.



Figure 5.17 The rear yard also retains open grassed areas and some perimeter garden beds, trees and plantings.



Figure 5.18 The carport is constructed to and is accessed from the rear lane. The rear has a roller door and high steel fencing.



Figure 5.19 The rear of the site and neighbours.



Figure 5.20 The interior has timber floors, high plaster and plasterboard ceilings and timber joinery. The main rooms and bathroom are located about and accessed by a kinked hall that extends from the side entry.



Figure 5.21 The front bedroom.

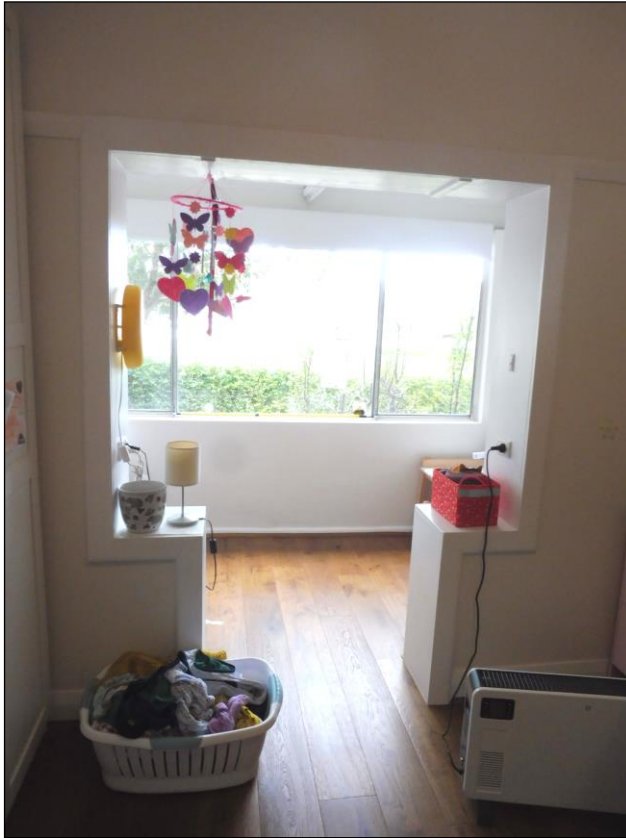


Figure 5.22 The front rooms generally retain early details. However, some modifications are evident. The door and sidelights accessing the former verandah have been removed and spaces connected. New flooring has been added to provide a level floor.



Figure 5.23 The third, western side bedroom.



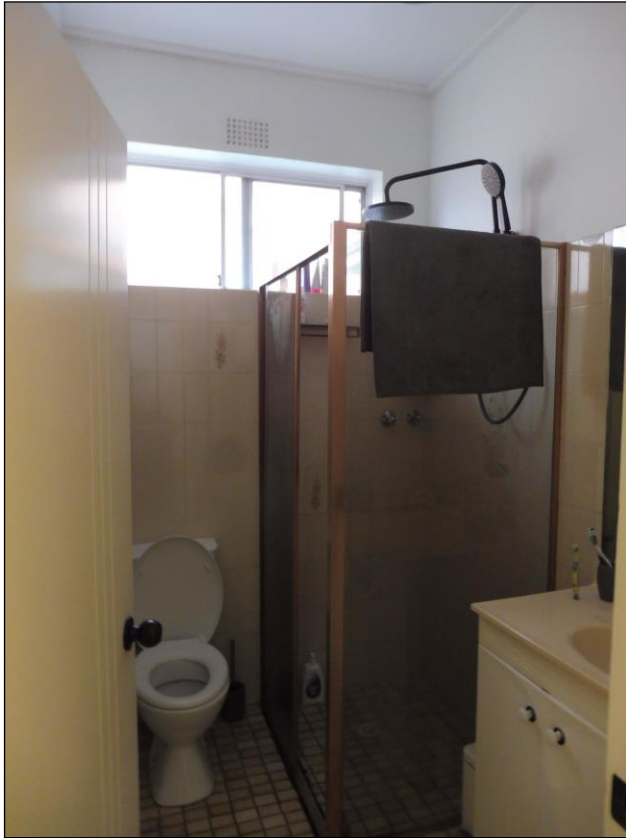


Figure 5.24 The modified bathroom and window on the eastern side.



Figure 5.25 The hall leads into a dining room that retains a narrow splayed fireplace breast, however, the fireplace has been removed and sheeted over.

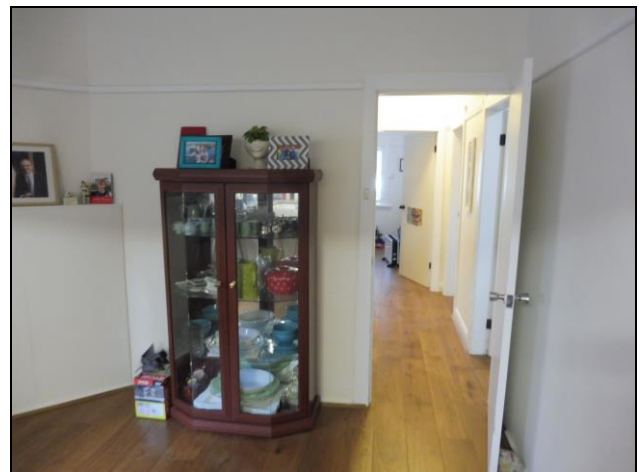




Figure 5.26 A large opening has been made in the rear wall to access the modern kitchen and rear wing.



Figure 5.27 The original rear wing has been opened up, modified and extended and has a modern timber floor and plasterboard ceiling with simple coved cornice.



Figure 5.28 The extended rear wing. A skylight has also been added and a brick and lightweight addition (study) which appears to have been constructed in stages also extends from the north eastern corner.

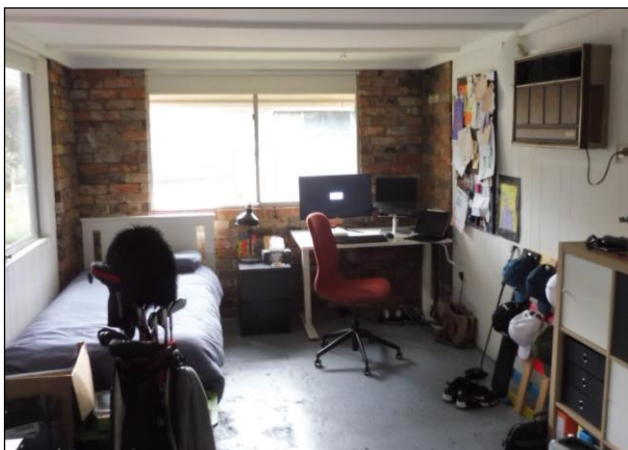


Figure 5.29 The rear study which is simply finished.

6.0 Summary analysis and assessment

No. 3 Ayr Street has not been identified as a heritage item, however, is located in the Ashbury Heritage Conservation Area. There are no items in the immediate vicinity.

Context

The site is located at the eastern end of Ayr Street which is a wide, two-way street with grassed verges, street trees and plantings and car parking on both sides.

The built context comprises of a mix of mostly one with some two storey Inter-war, modified and replacement detached dwellings. Despite the varying forms and modifications, the dwellings retain a sense of their early character and details particularly brick walls with pitched, gabled and hipped roof forms clad in tiles and front verandahs and porches.

The dwellings on the northern side of the street have uniform front setback and generally have deeper setback with side driveway and garages to the side or rear. The properties have varying front fence treatments, however, are largely enhanced by small front garden settings, the deep verge and street trees and plantings.

The Ashbury Heritage Conservation Area is significant for its street and early 20th century subdivision pattern, regular residential lots and generally consistent, early 20th century, (Federation, Californian Bungalow and Inter-war) housing styles and their garden settings. The area is also enhanced by extensive street tree plantings.

The subject site is also neighboured by a large late 20th century period dwelling (No. 1 Ayr Street) which occupies a corner site. The building extends across the wide, Ayr Street frontage and is a visually prominent element at the junction of Ayr and Lasswade Streets. To the immediate west of the site, No. 5 retains its single storey scale, form, fabric and details of the front of the building and is enhanced by a complementary fence. However, No. 5 has also undergone some alterations and additions at the rear. These have also extended into the deeper, western side setback.

Further west, No. 7 has undergone extensive modifications and alterations including the addition of an upper level and is also a visually prominent dwelling in the street. The building retains the two street facing gabled and details that are similar to the subject building. A garage has also been added flush with the front of the building on the western side of the dwelling.

The site

The subject building appears to have been constructed in c. 1926 by a local builder/ speculator.

The 1943 aerial shows what appears to be the early form of the house and indicates that the dwelling, its primary form and details including main gabled and hipped roof, front projecting bay and lower roof over a front verandah remains. A secondary, rear wing also remains, however, has undergone some changes, alterations and additions. A narrow structure is visible along the rear boundary (lane), however, no garage or other buildings or major plantings are evident.

The site retains a small front garden and building retains a sense of the front projecting bay and two street facing gables with associated details and a lower roof over the front verandah, side entry and chimney. However, inspection confirms that details such as the front fence, side path and driveways, the verandah, interior and rear have also been altered and modified.

The verandah roof appears to have been lowered or altered. There has been some leaks and drainage issues. An opening on the front wall and it is assumed a step have been infilled, a brick post has been added with aluminium windows to enclose the space.

The building has a side entry, to which a modern awning has been added. Some early timber windows remain, however, most have been altered and replaced with later timber and aluminium framed windows. Internally the building retains a kinked hall with high decorative plaster ceilings and timber joinery. However, the narrow fireplace has been infilled. Rear walls have been opened up and typical modifications to bathroom and kitchen areas have been undertaken.

The rear skillion roofed wing has been extended, it appears in stages. Awnings, a detached garage with attached laundry and carport have been added in the western side setback. A roller door and gate also extend across the driveway and face the Ayr Street frontage. Another modern carport and Colorbond fencing have been added along the rear lane.

The garage is a later addition. It is not evident in the 1943 aerial and was possibly added after the change of ownership in 1961. The awnings, carports, paving, steel enclosures and fencing also plantings appear to be part of the later, late 20th and early 21st centuries period of development of the site.

The rear of the building and site is visible from Lasswade Street, reserve and rear lane. However, some views are also screened and dominated by the large neighbouring dwelling, high fences, garage structures also trees and plantings.

No. 3 Ayr Street is a representative example of Inter-war period, detached dwelling. Despite some modifications, alterations and additions to the front and rear, the building retains its single storey scale, form, Inter-war period character and details including face brick façades, timber and rendered details, main gabled and hipped roof with two street facing gables and terracotta tiled cladding and chimney. The secondary roof and early verandah details are discernible.

The building also retains its front and side setbacks and a small front garden area and also has the added benefit of rear lane access. Despite the changes, the building is considered to be a contributory item and makes a positive contribution to the Ayr Street streetscape and area.

The site is also enhanced by a rear garden with some trees and plantings which appear to relate to the later development of the site.

The primary form and details that make a contribution to the area are largely concentrated at the front of the building.

The rear wing is partly part of the early development of the site, however, is secondary and utilitarian. The additions, garage and laundry annex, carports and awning are simple and lightweight and make no particular visual contribution to the streetscape or area. Similarly the carport and gardens are modern additions that make no contribution to the area.

The dwelling has undergone some typical internal modifications. However, the front of the building also appears to retain the early layout with rooms accessed by the kinked hall and spatial character with high ceilings. Internal details such as decorative plaster ceilings and some early timber joinery also remain, however, are in varying condition.

The existing dwelling appears to be the first constructed on the site, however, the archaeological potential is considered to be low and disturbed by the residential subdivision and development of the site and alterations and additions to the front, side and rear of the dwelling and site.

The existing building incorporates standard construction materials and details. The timber floors, ceilings and timber joinery are not unusual or rare and some have been upgraded and replaced. The changes have reduced the potential for relics in floor and ceiling cavities and overall would not reveal any new information that is not available elsewhere.

The building is of no particular social significance as a private dwelling.

7.0 Description of the proposal

It is currently proposed to retain the existing dwelling and undertake alterations and additions to the house and site as illustrated in the architectural drawings prepared by JKM Architects.

The existing single storey scale, primary form and details of the front of the existing dwelling, particularly the face brick walls and details of the front facade, the rendered base, main gabled and hipped roof, two street facing gables and associated details to the gabled ends and terracotta tiled roofing and chimney are proposed to be retained.

The existing side entry, a kinked hall and internal spatial character, finishes and details are also proposed to be retained and reinstated to match where possible. The proposed alterations and additions can be summarised as follows:

- removal of the existing front fence and gate and provision of a new of a new, 1.2m high picket fence and gates with brick base and piers. The existing sealed areas, pedestrian path, front garden area and lawn and a front garden setting will be retained and improved;
- provision of a new skillion roof and improved drainage over the infilled verandah which will be retained;
- replacement of the timber and aluminium framed windows on the front façade with new vertically proportioned timber framed windows and toplights. Some new brick infill is also proposed to the wider (former verandah) opening;
- removal of the Colorbond fence and timber awning over the eastern side entry;
- opening up of the existing bathroom and removal of an internal wall and the splayed, inactive and infilled fireplace and breast, cutting in of a new door and provision of new walls to form a cloak cupboard and a new bathroom;
- cutting in of new openings and addition of new walls to form Bed 01 and Bed 02;
- cutting in of a new door on the western façade and construction of an additional bedroom (Bed 03) in the western side setback;
- removal of the existing rear skillion roofed wing, existing side carport, garage and laundry and rear awnings, paving and elements and construction of a new single storey rear wing with “L” shaped living, kitchen and dining areas framing an outdoor rear verandah/ deck also a master bedroom with robe and ensuite and an externally accessed laundry;
- addition of a swimming pool and compliant fencing along the western side of the house; and
- removal of the rear fence and carport and construction of a new attached double garage and timber and brick fence. An open rear garden with lawn, perimeter garden beds, planter boxes and plantings are also proposed to be retained.

Overall the works are intended to improve the accommodation, use and amenity of the existing dwelling and site for ongoing residential and family use.

A single storey scale has been retained. It is proposed to make use of both the deeper western setback and rear lane which will continue to be used for vehicular access. Existing front and side setbacks have been largely retained with plantings also proposed along the eastern and western side boundaries. A rear garden and private open space have also been retained.

Separation between the principal building and roof form and new additions is proposed.

The additions are contemporary in architectural form and fabric and incorporate concrete slab floors, face brick construction with decorative brick details and timber and aluminium framed windows and doors and metal roof cladding. A skillion/ rounded sawtooth roof profile with high level windows is proposed to maximise the northern aspect and solar access and to bring natural light into the addition. New brick and timber fencing are proposed at the front and rear with a timber panelled garage door proposed facing the rear lane.

The existing face brick facades and the existing tiled roof cladding will be retained with matching and recycled bricks and a warm, neutral colour scheme to complement the existing building and Colorbond roof cladding in Jasper or similar for the additions.

8.0 Heritage Impact Assessment

The relevant clauses of Canterbury planning documents and guideline document on the preparation of Statement of Heritage Impact reports have been considered below.

8.1 Canterbury LEP 2012, Draft Consolidated LEP & DCP 2012

In accordance clause **5.10 Heritage conservation** of the CLEP 2012 & Draft CLEP:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The Ashbury Heritage Conservation Area is significant for its street and early 20th century subdivision pattern, residential lots and generally consistent, early 20th century, (Federation, Californian Bungalow and Inter-war) housing styles and their garden settings. The area is also enhanced by extensive street tree plantings.

The proposed works are considered acceptable from a heritage point of view as the existing subdivision and streetscape pattern will be retained. The front setbacks and primary form of the dwelling also the single storey scale, primary details and Inter-war period character which makes a positive contribution to the streetscape and area have been retained, will remain highly visible and able to be interpreted.

The proposed works relate to the front, interior and rear of the dwelling and site which have previously undergone some alterations and typical modifications for ongoing use.

The proposed new front fence and works to the front façade of the building will have a positive impact on the site and streetscape. The new fence incorporates complimentary details and height that will allow continued views to and from the dwelling and along the Ayr Street streetscape. The existing street frontage, verge and street tree also the existing primary address, access and amenity of the site will also be retained.

It is proposed to retain the infilled front verandah, however, a new skillion roof based on the shadow lines and evidence in the brickwork and similar details in the street is proposed and will improve the character of the façade and the roof drainage. The roof will continue to be secondary with a metal cladding that is appropriate to the style of the building.

The front, later timber and aluminium framed windows are proposed to be replaced with appropriately proportioned, timber framed windows detailed to match similar examples in the street. Some new, matching brick infill is also proposed to the wider opening and overall will improve the character and appearance of the façade. The face brick facades, prominent street facing gables and the associated timber details, main gabled and hipped roof form, terracotta roof tiles and chimney will be retained and remain as visually prominent contributory elements. The existing side entry will also be retained and improved by the removal of the later awning and fencing and new timber framed roof over the entry.

The proposed internal alterations to the front portion of the house will have no adverse impact on the area. A strong sense of the existing layout including the kinked hall extending from the side entry and spatial character will be retained. Existing details including decorative plaster ceilings and timber joinery will also be retained where possible.

The additional bedroom (Bed 03) and extension into the western side setback is proposed to make use of the space and takes advantage of the existing rear lane vehicular access to the site. The proposed side addition has been setback from the front building line and western side boundary. The addition is contemporary in architectural character, however, is secondary in terms of height and incorporates brick walls and pitched roof forms that are complementary. The form also allows clear separation and interpretation of the early building form and the “new”. The roof is separate and below the existing eave and main roof form which will be retained.

The removal of the existing rear wing and additions will have no adverse impact on the area. The rear wing retains some early fabric, however, has undergone successive alterations, additions and modifications that have negatively impacted on its integrity, appearance and condition.

The garage and attached laundry is also a simple and utilitarian structure that incorporates simple materials and standard details and is in a degraded condition. The carports, awnings also rear garden elements and paving also dated from a later period of the site development and make no particular contribution to the conservation area.

The proposed rear addition is contemporary and will change and positively improve the character of the rear of the building. The addition has been designed as an architectural pavilion with a low connecting link to the existing, principal building form. A single storey scale has been retained and the addition is secondary to the primary, main gable roof form.

A measure of separation between the main wing and addition is also proposed with skillion/pitched sawtooth roof form and metal roof cladding. The proposed roof form incorporating north facing highlight windows is proposed to take advantage of the site aspect and to improve the amenity and provide natural light into dwelling. The form will highlight the early building, roof form and materials. The main terracotta tiled gabled and hipped roof will remain visible and able to be interpreted as part of the early development of the area when looking from both Ayr and Lasswade Streets.

The proposed use of the rear lane for vehicular access is consistent with the existing use and neighbouring sites. A double garage is proposed, however, incorporates a simple form and flat roof that is intended to reduce the height and scale. Feature brick wall screens and the green roof are also proposed to soften the structure which is also setback from the eastern and western side boundaries.

A new rear fence, that is consistent with the height of the neighbouring walls, fences and garages is proposed and will improve the character of the rear boundary when looking from the lane, open reserve and Lasswade Street.

The proposed pool and landscaping will have no adverse impact on the conservation area. Overall any potential adverse impacts of the alterations and additions are also reduced by the rationalisation and improvement of the front and rear access, street and lane address and existing built context, high fences, reserve, garden and street trees and plantings.

In relation to **B8.4 Ashbury Heritage Conservation Area** of the Canterbury DCP 2012.

B8.4.2 Location

Controls		Response
C1	<i>A Streetscape Character Analysis is to be submitted as part of any development application for: (a) New dwellings; and (b) Alterations to the front elevation and/or a second storey addition to existing dwellings.</i>	The primary form and details of the existing dwelling which have been identified above as being contributory are proposed to be retained and elements are proposed to be improved and highlighted by the proposed works. The single storey scale, which is also characteristic of the area, is also proposed to be retained.

B8.4.3 Building Height

Controls		Response
C1	<i>The maximum height is identified in the LEP Height of Buildings Map and is 8.5m. A maximum of two (2) storeys applies to the Ashbury area.</i>	The single storey scale is proposed to be retained and single storey additions are proposed at the rear and largely retain setbacks from the side boundaries.
C2	<i>The maximum height is only appropriate on the part of the building that has the required setbacks of 1m from one side boundary and 3m from the other side boundary.</i>	
C3	<i>The setbacks for the maximum building height may be varied on allotments having a width of 12.2m or less, or where the original dwelling is located within 3m of the side setback. The overall minimum side setback is to be 1m.</i>	It is proposed to make use of the deeper western setback, however, a deep setback has been largely retained. The rear addition has also been setback from the eastern boundary.
C4	<i>Minimise the height and bulk of first floor extensions – a minimum floor to ceiling height of 2.4m applies on the first floor to achieve this. In some circumstances, it may be appropriate to introduce a raked ceiling.</i>	A single storey scale has been retained and new roof levels are also secondary to the existing main roof ridge.
C5	<i>All or part of a first floor extension is to be accommodated within the roof space (if possible).</i>	NA

B8.4.3 Building Height continued

C6	<i>On sites where the land slopes downhill away from the street, use the slope of the land and place floors at a lower level to minimise building bulk.</i>	The additions relate to and are appropriate to the fall and existing site.
C7	<i>The maximum height of fill is 300mm above existing ground level, at any point.</i>	
C8	<i>A foundation area of up to 1m in height is acceptable</i>	

B8.4.4 SetbackFront setback

Controls		Response
C1	<i>In the street elevation of new dwellings, a minimum of 50% of the building is to be built to the predominant building line, and the remainder of the dwelling may be behind the predominant building line. If a street has no predominant building line, build to a building line established by nearby buildings.</i>	The front setback and a small front garden will be retained and improved. The proposed addition to the western side has been setback from the front and predominant building line established by the nearby buildings. Neighbouring buildings also extend into the western side setback.
C2	<i>On streets with a staggered building alignment, the streetscape pattern is to be reinforced by maintaining the typical angle and distance from the front boundary</i>	A strong sense of the existing street pattern will be retained and reinforced by the setback and separation of the additions.
C3	<i>The front façade is to be oriented towards the street boundary.</i>	The front façade will continue to be orientated towards the street boundary.
C4	<i>Any additions are to be located on or behind the predominant building line.</i>	The proposed additions have been set back from the front, predominant building line.
C5	<i>Any carports are to be located a minimum of 1 m behind the predominant building line.</i>	No carports are proposed.

Side Setback

C1	<i>The established characteristic pattern of side setbacks in the street is to be maintained through providing a narrow side setback of 1m minimum and a wider side setback of 3m minimum.</i>	It is proposed to make use of the existing deeper side setback in lieu of compromising open rear garden and private space or adding an upper level. The western side addition is sited closer to the front of the building to relate to the existing internal layout and bedroom accommodation. The addition has been restricted, is setback from the front, predominant building line and is also setback from the western side boundary.
C2	<i>The wider side setback for a minimum distance of 6.5m from the predominant front building line is to be maintained, after this the side setback for a single storey may be reduced to 1m.</i>	

Side Setback continued

C3	<i>On sites with a street frontage less than 12.2m, buildings are to follow the predominant pattern of side setbacks for that street</i>	The front setback and a strong sense of the existing streetscape pattern has been retained and is also highlighted by the differing form and measure of separation provided between the “old” and the “new”.
C4	<i>Side setbacks are to be free of structures, except for minor encroachments that may include pergolas and carports.</i>	

B8.4.5 Building Expression and Streetscape

Relevant controls		Response
C1	<i>Alterations and additions to the existing building are to maintain the appearance of a single storey house from the street.</i>	The single storey scale and appearance of the front of the dwelling has been retained, will be improved and remain visible from the street.
C2	<i>The design of any alteration and additions visible from the street are to maintain the front or main section of buildings (this is below the main roof form).</i>	The main section of the building also the existing front façade and returns along the eastern and western sides and a strong sense of primary building and roof form have been retained.
C5	<i>Architectural details are not to be replicated but use of similar materials and colour, and continuation of the horizontal and vertical lines and proportions of the characteristic architectural houses and their elements, is encouraged.</i>	Contemporary additions incorporating face brick, relatively simple form and vertical proportions and details and pitched roof sections are proposed.
C7	<i>Design facades that are horizontal in proportions and asymmetrical, and use vertical proportions for features such as windows.</i>	The alterations to the front façade and building entry will have a positive impact. The additions are contemporary and have articulated roof form and incorporate vertical proportions and details. A break and measure of separation is proposed between the eastern side wall and roofs.
C8	<i>Provide a break in long side walls and roofs (see pavilion controls in Part C of this DCP).</i>	
C10	<i>New roofing should be compatible with the existing roof.</i>	The new metal roofing is compatible and reflects a traditional pitched and secondary roof form clad in a lighter weight (metal) material.

B8.4.6 Ground Floor Additions

Controls		Response
C1	<i>The following types of ground floor rear additions are to be examined for their suitability prior to the consideration of other ground floor additions. (a) Lean-to additions;</i>	The proposed addition has been designed as a pavilion that has a measure of separation and is linked by a lower, flat roofed connection.

B8.4.6 Ground Floor Additions continued

C1	<i>(b) Wing additions are located to the rear ...; and (c) Pavilion additions are located to the rear and If the roof of the pavilion addition can be seen from the street, the roof pitch is to match the roof pitch of the existing house. Skillion, flat or low-pitched roofs are permitted for the linking section</i>	The additions will be visible, however, are setback and secondary to the main building form and roof which will be retained and will remain highly visible and able to be appreciated, particularly from Ayr Street. The roof pitch varies, however, reflects the pitch of the rear hip.
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B8.4.7 Roofs and Dormers

Controls		Response
C1	<i>Roofs that are visible from the street must be hipped or gabled.</i>	The proposed new roofs have been designed to provide an articulated roof form over proposed additions and to take advantage of the northern aspect. The new roof sections are secondary and will be visually dominated by the existing main gabled and hipped roof when looking from Ayr Street. The main, terracotta tiled roof form will also remain visible from the rear.
C2	<i>New development is to follow the roof pitch that is predominant on the characteristic houses in the street.</i>	NA
C3	<i>The minimum distance between eave/gutter and the side boundary is 675mm. This can be reduced, based on merit, only where the existing eave/gutter is less than 675mm.</i>	The additions have been setback.
C4	<i>A maximum of one single dormer window in the roof</i>	No dormers are proposed.

B8.4.8 Verandahs, Porches and Balconies

The existing infilled front verandah is proposed to be retained. A skillion roof based on existing details and similar examples in the street is proposed to be reinstated and will improve the appearance and drainage. The roof will remain well below and will not impact or detract from the visually prominent street facing gables or any associated details which will be retained.

The existing later timber and aluminium framed windows on the front façade are proposed to be replaced with appropriately proportioned timber framed windows detailed to suit the style of the house and reflect similar window details in the area. The new windows and minor changes including the replacement of the awning over the building entry will have a positive impact on the condition and appearance of the building and its contribution to the streetscape.

No balconies are proposed. A rear verandah/ alfresco is proposed, however, will have no adverse impact on the area. The verandah is at the rear and will not detract from the primary character of the dwelling. Any potential impact will be reduced by the existing built context and high fences, walls and garages also trees and plantings at the rear.

B8.4.9 Windows and Doors

Controls		Response
C1	<i>Provide a greater proportion of wall to windows (solid to void) in street facades.</i>	A greater proportion of wall to windows (solid to void) is proposed.
C2	<i>Use timber framed windows and doors that are visible from the street.</i>	New timber framed windows are proposed.
C3	<i>Reflect the window sill and head heights of windows in the characteristic houses along the street by continuing the horizontal lines.</i>	The front windows and details have been previously altered and modified. However, new timber windows that reference other similar examples in the street and are appropriate to the style of the building are proposed. The front hood will also be retained.
C4	<i>Original windows and doors on front facades are to be retained.</i>	
C5	<i>The proportion of new windows and doors is to be in keeping with the existing house - generally bungalow windows have horizontal proportions, composed of three or four windows with vertical proportions. Federation dwellings have more vertically or squarely proportioned window openings.</i>	Vertically proportioned windows are largely proposed. Some larger windows and doors are proposed, however, these are located at the rear and will not be highly visible or detract from the period character and details of the dwelling or area.
C6	<i>Do not replicate leadlight windows, but reinstate traditional windows where they have been replaced by aluminium windows out of character with the existing house.</i>	It is proposed to remove aluminium framed windows and provide appropriately detailed, timber framed windows to the front façade.
C7	<i>Mount security devices internally (for example internal security louvres)</i>	Security and service elements will be located appropriately and will be screened from view from the street.
C8	<i>Do not use roller shutters and externally mounted metal security bars on elevations visible from the street (except facades facing rear laneways)</i>	No security devices or externally mounted details are proposed on elevations visible from the street.

B8.4.10 Materials, Finishes and Colour

Relevant controls		Response
C1	<i>Use external building materials, finishes and colours, in particular for street facades and roofs that are compatible with those of characteristic houses and the street.</i>	The proposed external building materials, finishes and colours are compatible with the character of the house and area.
C2	<i>Add variety and visual interest with the type, colour and design of building materials and fenestration.</i>	The additions add variety and visual interest, however, also incorporate complementary fabric and details.

B8.4.10 Materials, Finishes and Colour continued

Relevant controls		Response
C3	<i>Where there is consistency in materials used in the street or adjoining houses, use similar materials to reduce the impact of the new house, or alterations and additions.</i>	The existing face brick front and side facades are proposed to be retained and repaired and will retain consistency. Brick and complementary external building materials, finishes and colours are also proposed.
C4	<i>Recommended external materials and finishes include face brick, stone, timber, and fibre cement (for gable ends and infill panels).</i>	Face brick walls with metal roof cladding and timber details are proposed.
C5	<i>Do not render existing buildings or paint existing brickwork.</i>	The retained brick facades will remain face brick and will not be painted or rendered.
C7	<i>Use roof tiles that are similar to the colour of roof tiles that are predominant in the street. Do not use black or grey roof tiles.</i>	Lightweight, metal roof cladding is proposed for the new roof sections and reflects the existing lightweight claddings over the rear and roof of the house and other dwellings in the area.
C8	<i>Preferred roof materials include terracotta and concrete tiles.</i>	
C9	<i>Lightweight roofing materials such as corrugated iron are suitable for garages and carports and lean-to additions to the rear.</i>	
C10	<i>Use bricks that are uniform in colour and not mottled. Red and darker coloured bricks (dark brown and liver colours) are preferred. Face concrete block work is not acceptable</i>	Uniform, light bricks complementing the existing side elevations are proposed.
C11	<i>Do not express concrete slabs on the external face of the building.</i>	No concrete slabs will be expressed.
C12	<i>Avoid bright colours, including white or off-white and grey, for large surface areas. Brighter and lighter colours are generally only appropriate for architectural details and elements.</i>	The existing decorative and architectural details are concentrated at the front of the dwelling and will be retained and will continue to be painted and highlighted in appropriate colours. Warmer tones and complementary colours are proposed for the additions and window frames with a relatively neutral colour for the roof.
C13	<i>Use colours to enhance architectural elements and detail and do not obscure them.</i>	

B8.4.11 Driveways, Garages and Carports

Relevant controls		Response
C1	<i>The location of the existing driveway is to be reinstated into the design of all new houses - except if it departs from the predominant pattern of the street, and is located anywhere other than within the side setback.</i>	The existing driveway crossing and front setbacks from Ayr Street will be retained with the existing vehicular access from the rear lane. The dual access is consistent with the existing situation and neighbouring properties along this section of Ayr Street.
C2	<i>A maximum of one driveway crossing per building allotment or property is to be provided.</i>	
C3	<i>A maximum width for driveways is 2.7m at the allotment boundary.</i>	The existing width is proposed to be retained at the front.
C4	<i>Garages and carports are to be located at the side or rear of the house.</i>	The proposed garage is located at the rear.
C5	<i>Basement garages and stacked car spaces are not permitted.</i>	No basement garages or stackers are proposed.
C6	<i>Garages and carports, including garages within the building envelope, are to be located a minimum of 1m behind the predominant building line.</i>	The garage is located at the rear of the dwelling and site and will not detract from the primary form or streetscape.
C7	<i>The height (to the eaves) of garages and carports, that are not internal to the house, is to be below the ground level eaves line of the dwelling.</i>	The height of the garage is secondary to the main roof ridge and is located at the rear of the site and will not detract from the principal building and roof form. A flat, green roof is also proposed to reduce the height and soften the appearance along the lane.
C10	<i>Garages that are visible from the street are to use panel lift garage doors, which have less visual impact than roller doors, and are to be painted in sympathetic colours.</i>	The garage will not be visible from Ayr Street. It will be a visible addition to the lane and will be visible from Lasswade Street, however, will form part of the utilitarian character of the lane. The garage and proposed new fence will improve the character of the rear boundary and its height is consistent with the existing fencing and garages along the lane.
C11	<i>The roof pitch and form of detached garages and carports should complement that of the dwelling. Flat roofed carports are acceptable if they adopt a pergola style, or a contemporary style using high quality materials and detailing to provide a discrete appearance.</i>	The garage is contemporary and uses high quality design, material and details that will complement the lane and area. The proposed finishes and details will improve on the existing character and will also allow the historic character of the area to remain evident and able to be interpreted.
C12	<i>Preferred materials for garages include darker coloured face brick for walls and piers, timber posts for carports, and tiles or lightweight materials</i>	

B8.4.11 Driveways, Garages and Carports continued

Relevant controls		Response
C13	<i>For driveways, preferred materials include dry laid unit paving such as bricks or terracotta, stone and concrete pavers.</i>	No new driveways are proposed.
C14	<i>An uncovered paved area in the front setback is preferred for car parking.</i>	The existing paved areas in the front setback will be retained and improved.
C16	<i>No part of an existing building, wholly or in part, are to be demolished or altered in order to accommodate a carport or car space within the front or side setbacks.</i>	No part of the existing dwelling is proposed to be demolished to accommodate a carport or car space. The existing carports are proposed to be removed. The proposed garage will be located in the same position as the rear carport and will be accessed from the rear lane.

B8.4.12 Walls and Fences

Relevant controls		Response
C1	<i>In general, front garden walls and fences are to: (a) Be of a design and height that is appropriate to the style and period of the building or characteristic of the conservation area. Where the street has a variety of wall and fence types and forms then new walls and fences should complement and contribute to an acceptable streetscape; and (b) Use good quality materials that are compatible with the house.</i>	A picket fence with brick base and brick piers and matching gates are proposed along the street frontage and are appropriate to the style of the dwelling and area.
C2	<i>Front garden walls and fences on the street boundary are to be no higher than 1.2m.</i>	A 1.2m high front fence is proposed.
C5	<i>Side fences may be 1.8m high to the predominant building line. Forward of the predominant building line, side fences are to taper down to the height of the front garden wall or fence.</i>	The existing side fencing will be retained or replaced to match.
C7	<i>Acceptable materials for front garden walls and fences include darker coloured face brick, timber pickets, horizontal rail and brick pier, stone, and timber post and rail with wire. Low shrubs or hedges may also be acceptable.</i>	Face brick and timber pickets are proposed.

B8.4.13 Open Space and Landscaping

The existing front garden setback will be retained with front and western side perimeter garden beds and lawn.

An open rear garden and private open space has also been retained and will be improved. Existing paving and elements are proposed to be removed, however, a rear garden area with perimeter garden beds and existing tree and lawn is proposed.

B8.4.14 Outbuildings

No sheds or additional outbuildings are proposed.

B8.4.15 Demolition

It is proposed to demolish the rear, skillion roofed wing and additions also the existing garage and laundry, awnings and carports. These elements are utilitarian and secondary and have undergone some change and modifications. The garage and laundry, carports and awnings relate to the late 20th century and later development of the site and make no particular contribution to the character of the area.

The primary form and details that contribute to the character of the Ayr Street streetscape and area have been retained and will be improved. The site boundaries and primary setbacks have also largely been retained and the site will be able to be interpreted as part of the Inter-war period of development of the area.

8.2 Heritage NSW criteria

The relevant questions from the guideline document on the preparation of Statement of Heritage Impact reports have been considered in detail below.

How is the new impact of the new development on the heritage significance of the (contributory) item and area to be minimised?

The proposed works are intended to improve the accommodation, use and amenity of the existing dwelling and site for ongoing residential and family use. Any potential heritage impacts are minimised in the following ways:

- by the retention of the existing subdivision pattern and site boundaries;
- by the retention and no impact on the existing street elements, street proportions, grassed verges, street trees and plantings;
- by the retention of the existing primary front setbacks and existing streetscape pattern along Ayr Street;
- by the retention of a front garden setting, lawn and front garden beds and the existing pedestrian and vehicular access to the site;
- by the provision of a complimentary and low front fence that will improve and enhance the street frontage;
- by the retention of the single storey scale of the building, primary form and Inter-war period character and details of the existing dwelling;
- by the retention of significant and contributory details including face brick walls, brick, timber and rendered details, details of the front façade particularly the street facing gables and associated timber details to the gable ends, main gabled and hipped roof, terracotta roof tiles and chimney;
- by the reinstatement of the front skillion roof and improvement of the front openings;

- by the retention and improvement of the existing building entry and retention of a sense of the internal layout with main rooms located about and accessed from the kinked hall;
- by the retention of the primary roof form and ridges and use of the deep side setback in lieu of compromising open garden space and need of an upper storey addition;
- by the proposed pavilion style additions that provides a sense of separation and interpretation between the “old” and the “new”;
- by the articulation of the roof over the additions which are secondary to the main roof ridge and reduce the overall height, bulk and scale;
- by the use of contemporary architectural form, details, materials and colours that reflect and are complimentary to the building and area but also allow the historic building fabric to remain discernible and able to be interpreted;
- by the use of the rear lane for vehicular access and provision of a low scale garage that incorporates a simple and relatively compact, form, compatible fabric and details that are consistent with the existing scale and character of the rear lane;
- by the retention of rear setbacks, a rear garden setting and private open space; and
- by the improvement of the rear yard and landscaped areas.

How does the new development affect views to, and from the item? Will the public and users of the item, still be able to view and appreciate its significance?

The proposed alterations and works to the front of the house will have no impact on any primary views along Ayr or Lasswade Streets or along the rear lane.

The proposed alterations and additions are confined to the site and retain the single storey scale of the dwelling. Front setbacks and the existing streetscape pattern has been retained.

A low front fence is proposed and will allow ongoing views to and from the site and along the street. Appropriate side and rear fencing is also proposed and will have no adverse impact on any views along Lasswade Street or along the rear lane.

The proposed alterations and additions to the dwelling will be visible. However, the additions have been designed as pavilions with a clear separation between the “old” and the “new”. The additions are secondary in terms of height and the primary contributory details, particularly the face brick walls and details, main roof, particularly the street facing gables and associated timber elements, terracotta roof tiles and chimney, front bay and side entry and a front garden setting have been retained and will remain visually dominant.

As such, it is considered that the building users and public will be able to view and appreciate the early 20th century/ Inter-war built character of the building and area.

Is the development sited on any known, or potentially significant archaeological deposits?

The development is not sited on any known deposits and archaeological potential of the site is considered to be low and disturbed by the residential subdivision and development of the site and neighbouring sites and previous alterations and additions.

The existing building and additions and the existing garage and laundry, carports and awnings incorporate typical construction materials and techniques. The buildings have previously undergone some modification and later alterations and additions and overall are not likely to reveal any new information which is not available elsewhere.

9.0 Conclusion and recommendations

In summary, the proposed alterations and additions to No. 3 Ayr Street, Ashbury, are considered acceptable from a heritage point of view and will positively improve and enhance its contribution to the conservation area.

The proposed works are intended to improve the conditions, appearance, accommodation and amenity of the existing dwelling and site for ongoing residential and family use.

The existing subdivision and streetscape pattern, single storey scale and primary form and details of the existing dwelling including its front setback and garden will be retained and able to be interpreted as part of the Inter-war period of development of Ashbury.

The primary details including the face brick walls, main roof form particularly the street facing gables and associated timber details and terracotta roof cladding and chimney have also been retained and will continue to make a contribution to the character of the streetscape and area.

The alterations to the front façade and building entry will have a positive visual impact and will improve the condition and appearance of the existing building.

The proposed demolition of the rear wing and rear additions including the garage and laundry, carports and awnings will have no adverse impact on the character or significance of the conservation area. These elements are secondary and utilitarian, have undergone some changes or relate to the later development of the site and make no particular contribution to the character of the street or lane.

The proposed new rear additions are single storey and have been designed as contemporary pavilions with a low connecting links that allow interpretation of the principal, early form of the house.

The additions are setback from the front and side boundaries and make use of the deeper side setback and opportunity for vehicular access from the rear of the site. The side addition is proposed so that the open rear garden area and private open space is not compromised and in lieu of an upper level addition.

The additions are secondary in terms of height, are articulated and incorporate compatible materials, colours and details that will read as contemporary addition and do not detract, but rather will positively highlight the historic fabric and details of the building and area.

The proposed pool and improvement of the rear garden, new garage and rear fence will have no adverse impact on the area. The fence and garage are a compatible height and will improve the character of the rear boundary and lane.

The proposed internal alterations and additions will have no impact on the area or any views along Ayr or Lasswade Streets. The existing building entry and a strong sense of the existing layout and special character have been retained. Where possible early details will also be retained and reinstated.

The additions will be visible, however, will have no adverse impacts on any major views along Ayr and Lasswade Streets. Any potential adverse impacts are also reduced by provision of an appropriate front fence, improvement of the front facade also the retention of the street and verge proportions street and garden trees and nature of the existing built context.

On this basis, Council should have no hesitation in approving the proposed works on heritage grounds.